

# Village Overlay Design Manual



## Village Overlay Design Manual

The following standards provide supplemental requirements to the established Village Concept Overlay Zone. All projects must conform to these design standards to be designated "eligible" for the Village Concept Overlay Zone.

The purpose of the Village Concept Zone is to create and maintain an economically and culturally viable downtown business district, an active effort must be put forth in providing walkable neighborhoods containing a range of housing in an attractive, relevant downtown commercial setting. Part of that effort includes a comprehensive set of design standards that can be used to direct and evaluate future development endeavors in the Commercial Zone. It is also recognized that enhanced building design projects a positive image that attracts users to the downtown area and will contribute to the vitality and economic success of Poolesville's service providers, retailers and restaurants.

Infill development offers an excellent opportunity to strengthen development patterns and fill in the gaps. Vacant and underdeveloped lands interrupt the street wall and prevent suitable definition of the street, a condition commonly referred to as 'missing teeth.' Infill projects can visually unify the street through the development of these properties. The best infill projects are characterized by good design—both in terms of architecture and linkages with the surrounding neighborhood. With good design, these projects can help improve an area that is thriving or reinvigorate one that has declined over the years.

These Design Standards establish a baseline for architectural design appropriateness and are to be used in conjunction with the Village Concept Overlay Zone requirements. For a proposal to be designated "eligible" to use the Village Concept Overlay Zone, the applicant shall proceed through a discretionary design review process.

The purpose of these standards is to:

- Provide architectural features and designs that enhance Town character and streetscape compatible with the Master Plan.
- Provide opportunities for higher density housing in suitable locations deemed appropriate in the Commercial Zone. Development is intended to blend and enhance existing neighborhoods with application of site development regulations and design standards to minimize impacts to adjacent uses.
- Provide an attractive pedestrian friendly development which promotes community interaction and connectivity.
- Provide for open space and amenities to support and compliment community interaction.
- Provide, where appropriate, mixed - use buildings comprising of housing and commercial uses to enhance the character of the Town.

## **General Design Concepts**

- Plan submissions utilizing a mix of housing types, shall be designed with single family detached dwellings and up to a 50% mix of townhomes or duplexes.
- Development layouts that require roadways should give careful considerations to comprehensively designed walkable streets.
- Pedestrian network both within the development and connectivity to existing walkways is critical to the Town's vision.
- Aesthetics and elevation design should embrace a diversity of household styles and types.
- For designated properties that abut any zone other than Commercial, the contiguous lots should conform closely with that zone to create a smooth transition between zones

## **Facade Design Concepts**

- Traditional architecture chosen shall be consistent with the highest quality traditional styles.
- Building presence, from the street, shall be given priority as an important component of design.
- Individual building units shall be clearly defined through use of such elements as pillars, piers, material changes, multiple designs of porches.
- Facade improvements shall include design elements such as cornices and moldings to add character and visual interest.



## **Facade Materials**

- The use of natural materials, such as wood, brick or stone as the primary finish is required. Synthetic materials should be avoided.

- Facade design and materials shall be of high quality for all facades. Secondary facades (side or rear) should complement the primary facade and adhere to standard principles and architectural style.
- Exterior building materials shall be consistent and compatible on all sides and levels of a building.
- Use of plain or decorative concrete block, applied synthetic brick, vinyl, or aluminum siding shall not be allowed as a primary or accent facade material.
- The use of plywood panels, i.e., T-111 or stucco panels shall not be allowed as a primary or accent exterior finish.

## Building Features and Details

- Incorporate front porches that are at least 5' deep on at least 50% of the units facing a main roadway and on at least 30% of the interior lots
- Main entrances
  - The main entrance of each primary structure must face the street. On corner lots the main entrance may face either of the streets or be oriented to the corner.
  - Front porch at main entrance. There must be a front porch at all main entrances that face a street. If the porch projects out from the building, it must have a roof.
  - Front porches may encroach into the front set-back up to (8') eight feet.
- Porch foundations shall be masonry piers with framed wood lattice, wood boards, or concrete covered with stone or brick.
- Stoops shall be made of brick, stone or concrete faced on all exposed sides with brick or stone. Wood may be used at secondary entrances.
- Posts and columns shall be wood or synthetic wood products.
- Porch railings shall be a single material, either wood, vinyl clad wood, steel or wrought iron.





- Chimneys must either be masonry or enclosed in the same finish material as the exterior of the home to which they are attached.
- Doors and shutters must be of a style consistent with the overall architectural style and design of the home; must be made of wood or of materials that give the impression and appearance of wooden construction; must be of a single solid color. The front door color and the color of the shutters need not match, but must be logical and complementary or harmonious in any contrast between the two.
- Bay windows are an important element of a building's design and as such, they must be appropriately detailed and located with respect to other building elements to create a well-proportioned building.
- All lots abutting Fisher Avenue with garages must be rear load. All other, where practical, should be rear loaded.
- Roofs shall be simple and symmetrically pitched, and only in the configuration of gables and hips. The pitch of the roof shall be between 6:12 and 12:12
- Dormers shall be roofed with a symmetrical gable, hip, barrel or shed roof.
- Roofs shall be metal standing seam, slate or architectural laminated shingles.
- Skylights shall be flat in profile.
- Skylights, solar panels, vent stacks and other roof protrusions shall not be placed on a roof facing a street.

### **Landscaping and fencing**

- To promote and enhance the visual and aesthetic appearance of the community, landscaping in the front yard of homes is required. Specifically:
  - Properties with a front lawn must have a defined edge between the landscape bed and the lawn.
  - The size of the property will dictate the number of plants that must be installed.
  - Plants must cover a minimum of one-third of the landscaping.
- All fencing shall be built from stone, wrought iron, vinyl or painted wood. No unpainted fencing
- Fencing built of wood or vinyl shall be white at frontages. Fences built of steel or wrought iron shall be painted black.



## Amenities

Where practical and desired by the Planning Commission the following elements should be included:

- Trails
- Community gathering areas/pocket parks



- Sidewalks
- Sidewalk from street or common walk to front stoop

## Streetscape Design Elements

In accordance with the Poolesville Code, the following elements are required to create a visually appealing neighborhood atmosphere.



- Street Trees
- LED streetlights
- Landscaping
- Sidewalks
- Curb and gutter

## Development Standards

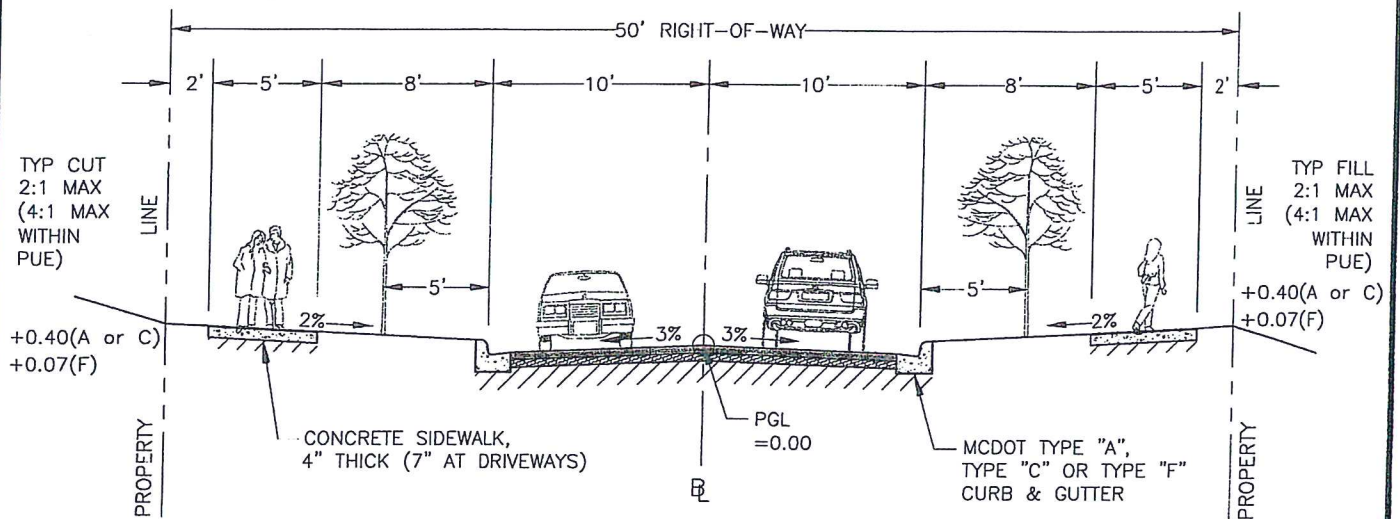
**Building setback.** - Primary buildings must not be set back from the front lot line more than 25 feet.

### Development Chart

	Detached	Duplex	Townhome
Minimum lot size	4,000	2,000	1,200
Minimum yard: Width at building line	30 ft.	30 ft.	20 ft.
Max number of accessory buildings	2	1	1
Max floor area accessory building	100 sq. ft.	100 sq. ft.	100 sq. ft.
Max detached garage	425 sq. ft.	425 sq. ft.	300 sq. ft.
Maximum building height Main building	35 ft.	35 ft.	35 ft.
Maximum building height Accessory buildings	12 ft.	12 ft.	8 ft.
Maximum building height Detached garage	17 ft.	17 ft.	17 ft.
Minimum front building line main building facing public road	15 ft.	15 ft.	15 ft.
Building facing private road	10 ft.	10 ft.	6 ft.
Minimum sideline setback Main building interior lot	5 ft.	5 ft.	
Minimum sideline setback Main building corner lot	10 ft.	10 ft.	5 ft.
Minimum rear line setback Main building	20 ft.	20 ft.	20 ft.
Garage (attached or detached)	4 ft.	4 ft.	4 ft.
Accessory buildings and structures (must be located in rear yard)			
Minimum side yard	5 ft.	5 ft.	5 ft.
Minimum rear yard setback	3 ft.	3 ft.	3 ft.
Site plan required	Yes	Yes	Yes



## Typical Section (NOT TO SCALE)



## Paving Detail

	3" BITUMINOUS CONCRETE SURFACE (TWO EQUAL LAYERS)
	3" BITUMINOUS CONCRETE BASE
	APPROVED SUBGRADE

## Design Data

GEOMETRIC DESIGN SHALL CONFORM TO MOST RECENT AASHTO "GREEN BOOK" METHODS.

TARGET SPEED (MPH)	SUPERELEVATION	MAX GRADE
N/A (25 MPH SIGHT DIST.)	NONE (-3% MAX)	12%

MIN ALLOWABLE  $\Delta$  RADIUS = 100'

## General Notes

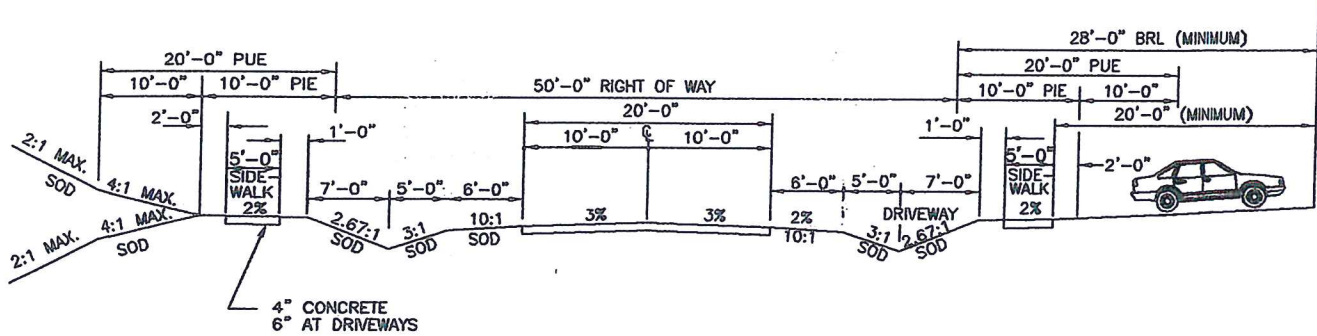
1. LATEST EDITION OF THE MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS SHALL APPLY FOR MATERIALS AND METHODS OF CONSTRUCTION.
2. PUBLIC UTILITY EASEMENTS (PUEs) ARE SUBJECT TO "DECLARATIONS OF TERMS AND PROVISIONS OF PUBLIC UTILITY EASEMENTS"
3. STANDARD ELEVATION AT PROPERTY LINE, RELATIVE TO PGL, SHALL NOT VARY AT DRIVEWAYS.
4. PAVING DETAIL DEPICTS THE MINIMUM REQUIRED SECTION. IF SUFFICIENT SUBGRADE SUPPORT IS NOT ASSURED, AN ENGINEERED PAVING DESIGN USING SHA METHODOLOGY WILL BE REQUIRED.
5. NOTE THAT WITHIN A GIVEN CONTEXT, THIS STANDARD MAY NEED TO BE MODIFIED TO PROVIDE ADDITIONAL REQUIRED FEATURES SUCH AS MASTER PLANNED BIKEWAYS, AUXILIARY LANES AT INTERSECTIONS, OR STORMWATER MANAGEMENT FACILITIES. ADDITIONAL RIGHT-OF-WAY MAY BE NECESSARY TO ACCOMMODATE SUCH FEATURES.
6. ALL UNPAVED AREAS WITHIN THE LIMITS OF DISTURBANCE SHALL BE STABILIZED WITH ESTABLISHED GRASS TURF OR APPROVED LANDSCAPING.
7. STREET TREES OF APPROVED TYPE, SIZE AND SPACING SHALL BE PLANTED AT LOCATIONS SHOWN.

TOWN OF POOLSVILLE

TERTIARY RESIDENTIAL STREET  
SIDEWALK ON BOTH SIDES



## TYPICAL ROAD SECTION



### PAVING SECTION

3" BITUMINOUS CONCRETE SURFACE COURSE IN 2 - 1 1/2" LAYERS
3" BITUMINOUS CONCRETE BASE COURSE
APPROVED SUBGRADE

### GENERAL NOTES

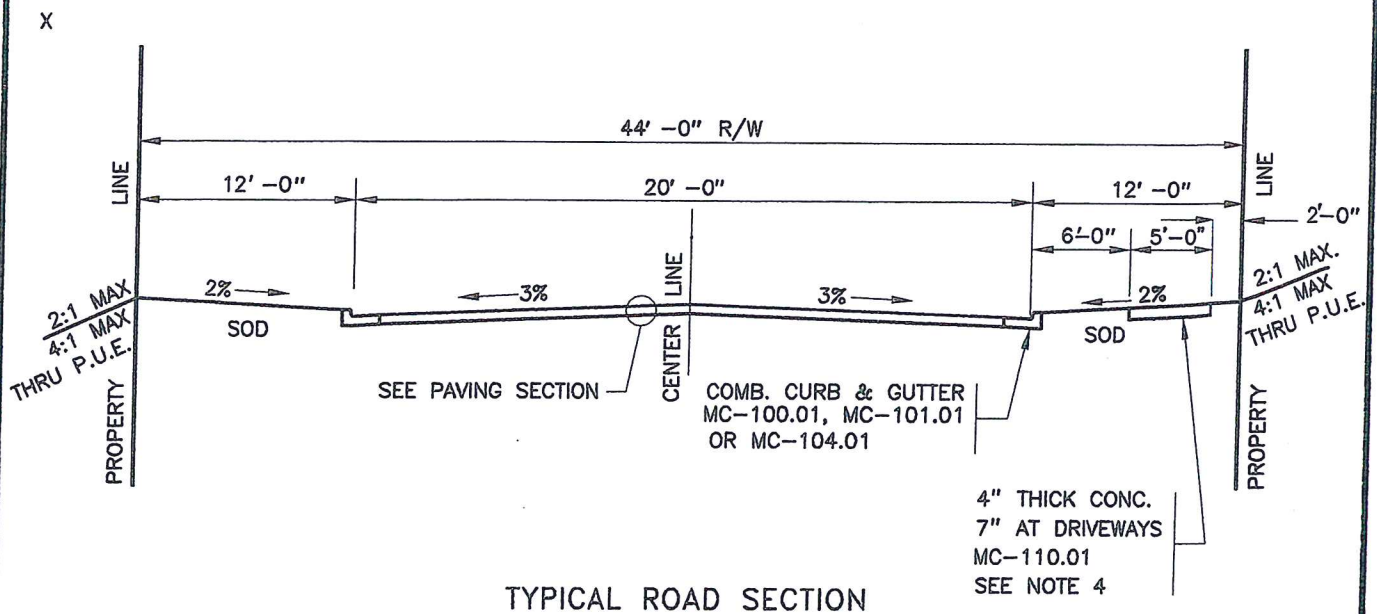
1. REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
2. SEE STANDARD NO. MC-811.01 - METHODS OF GRADING SIDE SLOPES
3. THE SIDE DITCH IN FILL SLOPES MAY BE ELIMINATED IN AREAS NOT MASTER PLANNED FOR DEVELOPMENT ONLY AFTER OVERLAND FLOW PATH AND EROSION POTENTIAL ARE CONSIDERED.
4. SEE TOWN OF POOLESVILLE FOR SIZE AND SPACING OF STREET TREES
5. WHEN USING THIS STANDARD, THE GARAGE SHALL BE SETBACK A MINIMUM DISTANCE OF 20 FEET, MEASURED FROM THE BACK EDGE OF SIDEWALK.
6. STREET LIGHTING POLES ARE TO BE LOCATED AS DIRECTED BY THE POOLESVILLE PLANNING COMMISSION.
7. PUBLIC IMPROVEMENT EASEMENTS (PIEs) ARE TO BE GRANTED BY A SITE SPECIFIC DECLARATION OF PUBLIC IMPROVEMENTS EASEMENT DOCUMENT. THAT DOCUMENT IS TO BE RECORDED IN THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND AND REFERENCED ON THE RECORD PLAT.
8. THE 2-FOOT SECTION OF THE PIEs BEHIND THE SIDEWALK IS TO ALLOW FOR THE TEMPORARY CONSTRUCTION, RECONSTRUCTION, AND MAINTENANCE OF THE SIDEWALKS.
9. SEVERAL OF THE DIMENSIONS SPECIFIED ON THIS STANDARD REFLECT MODIFICATIONS TO THE VALUES SHOWN ON STANDARD NO. MC-301.03 (RESIDENTIAL DRIVEWAY/OPEN SECTION ROAD).
10. ELEVATION AT THE FRONT EDGE OF SIDEWALK = EDGE OF PAVEMENT ELEVATION + 0.38'

#### REVISED

Width of PUEs and  
Note #9 (1-07).

#### TOWN OF POOLESVILLE

TERTIARY RESIDENTIAL STREET  
OPEN SECTION  
WITH SIDEWALKS AND STREET TREES



3" BITUMINOUS CONCRETE SURFACE COURSE IN 2 - 1 1/2" LAYERS
3" BITUMINOUS CONCRETE BASE COURSE
APPROVED SUBGRADE

### PAVING SECTION GENERAL NOTES

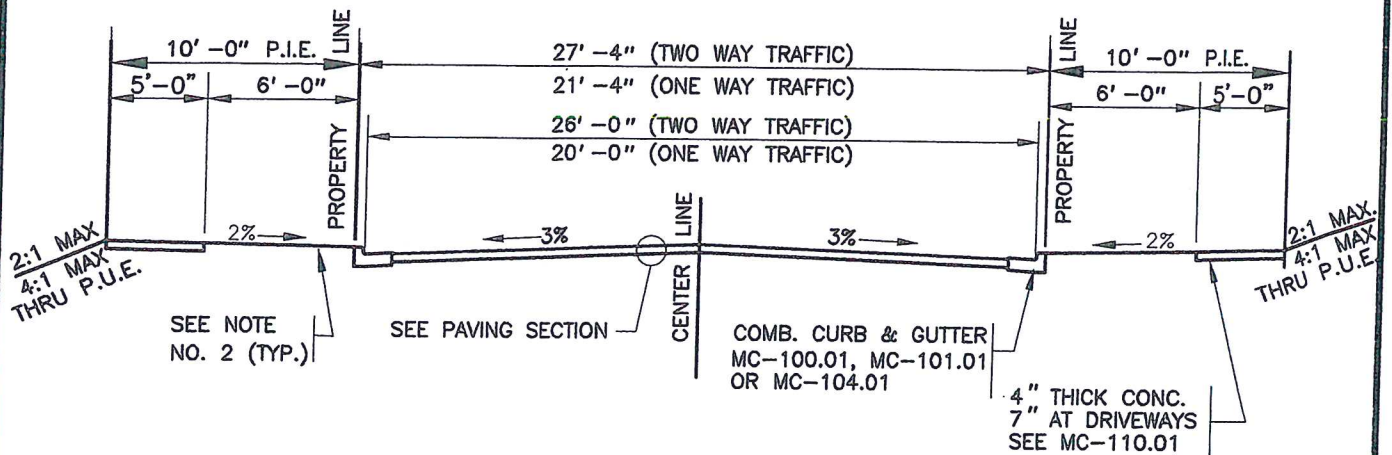
1. REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
2. SEE STANDARD NO. MC-811.01 - METHODS OF GRADING SIDE SLOPES.
3. TOP OF CURB ELEVATION = CENTERLINE ELEVATION + 0.11' (FOR 6" CURB HEIGHT).
4. THIS STANDARD CAN BE USED FOR CUL-DE-SAC LESS THAN 300' IN LENGTH AND WITH ON STREET PARKING ALLOWED ON ONE SIDE ONLY.
5. THIS STANDARD CAN BE USED FOR ONE WAY LOOP STREETS WITH ON STREET PARKING ALLOWED ON ONE SIDE ONLY.
6. SIDEWALK OBSTRUCTIONS THAT VIOLATE THE CLEARANCE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" OF 1990 WILL NOT BE ALLOWED.
7. THIS STANDARD SHALL NOT BE USED WHERE ANY CLASS OF BIKEWAY IS SPECIFIED.
8. WHEN A TRAFFIC BARRIER IS WARRANTED INCREASE THE RIGHT OF WAY TO ALLOW THE TRAFFIC BARRIER TO BE PLACED OUTSIDE OF THE SIDEWALK.

REVISED

TOWN OF POOLESVILLE

TERTIARY RESIDENTIAL STREET  
44' RIGHT-OF-WAY





TYPICAL ROAD SECTION

3" BITUMINOUS CONCRETE SURFACE COURSE IN 2-1 1/2" LAYERS
3" BITUMINOUS CONCRETE BASE COURSE
APPROVED SUBGRADE

PAVING SECTION

### GENERAL NOTES

1. REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
2. THE SLOPE BEHIND THE CURB TOWARD THE ROAD SHALL BE 2% FOR A DISTANCE OF 3' - 0" FROM THE FACE OF CURB.
3. SURFACE AREA OF INLET SLABS SHALL REMAIN ENTIRELY EXPOSED.
4. TOP OF CURB ELEVATION (20' PAVEMENT) = CENTERLINE ELEVATION + 0.11' (FOR 6" CURB HEIGHT)
5. TOP OF CURB ELEVATION (26' PAVEMENT) = CENTERLINE ELEVATION + 0.02' (FOR 6" CURB HEIGHT)

REVISED

TOWN OF POOLESVILLE

MODIFIED TERTIARY  
RESIDENTIAL STREET